

9802

8502

BUILDING APPLICATION FORM.

Gisborne.....16/10/1920

To The Borough Engineer,
GISBORNE.

I hereby apply for permission to *effect alterations*
at. *216 Harris* Street. For (Owner) *W. Littlewood Esq.*
of (Town) *Gisborne*, according to Locality Plan and Detailed Plans,
Elevations, Cross Sections and Specifications of building, deposited herewith in
duplicate. Section No. Length of Boundaries.
Area. D.P.

PARTICULARS OF BUILDING:- Foundations.
Walls. Roof.
Area of Ground Floor. sqft. Area of Outbuildings. sqft.
ESTIMATED COST:- Building £. Plumbing & Drainage £.
TOTAL: £. *8 50*

Proposed use or occupancy of other part of building.
.....
Nature of ground on which building is to be placed and of the sub-jacent strata.
.....

Yours faithfully,

..... *W. Littlewood* Owner.
..... *per W. Littlewood* Builder.
Postal Address. *329 Gladstone Rd.*

Fees payable in respect of above:-

Building Fee...	£	4 10 -
Water Service..	£	2 6
Deposit re Footpath..	£	2 6

TOTAL

£ 9 12 6

J. J. [Signature]
Building Inspector.



GEO. H. DOUGLAS

BUILDER & SHOP FITTER & GENERAL CONTRACTOR

Joinery Factory and Office: 359 Gladstone Road, Gisborne.

Gisborne, 10/10/20 1920.

M.....

Specification for additional two rooms to residence 216 Harris St., for W. Littlewood Esq.

Foundations - Outer Walls 6" concrete reinforced with two $\frac{1}{2}$ " RMS Rods. Pilocks 8" x 8" concrete
Ventilators 12" x 6" brimmed wire.
Concrete :- Antitaki chips, Waimori Sand & cement mixed 4-2-1. Steps as shown to be in same mix.

Sleepers 4x3 bldg. Heart
Joists 5x2 " "
Out Sides 4x2 " "

All other framing O.B.B.

Flooring 4x1 Karoh

Outer Wall covering - Brown Strips with Building Paper, asbestos sheeting and wire netting.

Inside linings - Fibrous plaster walls & ceilings

cornice 2x2 stepped

Skirting & moldings 4x1.

Remove present wall weatherboards to sill line and cover with asbestos sheeting.
Have all ceiling to present Redwood Varnish



GEO. H. DOUGLAS

BUILDER * SHOP FITTER * GENERAL CONTRACTOR

Joinery Factory and Office: 359 Gladstone Road, Gisborne.

Gisborne, 194

M

(2)

on new outer wall.

Remove 3 Sash Frames from Front Elevation and re-use one on side wall of present bedroom and two to new Breakfast Room as shown on plan.

Use two new Landscape Windows to be used in new Bedroom and Lounge.

Frame for Wardrobe in 3x2 Land line with Hardboard. Fix 2/6x2 Flush Doors + Jambs etc. Fix 1 Hat Shelf and 1 Boot Shelf.

Present Front Door + Frame to be re-used at Entrance Arch.

2 new 6-6x2-8 Flush Doors will be required for new rooms.

Remove partition in Lounge + make good walls + ceiling.

Outside Alter. All outside walls covered in Asbestos sheeting to be covered in scratch coat not less than 4/4" thick, well ruled off and left ready for finishing coat and Stucco finish. These walls to be finished on two columns to be selected.

Paints. All inside woodwork to have 1 coat priming + 2 coats Lead + oil colour in shades to be chosen. Interior ceilings to be finished in



GEO. H. DOUGLAS

BUILDER

SHOP FITTER

GENERAL CONTRACTOR

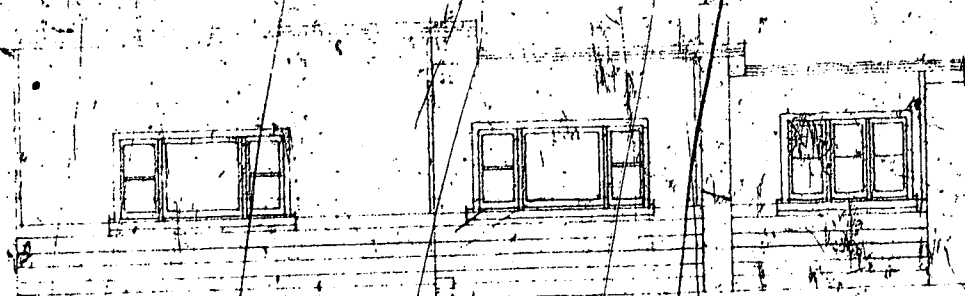
Joinery Factory and Office: 359 Gladstone Road, Gisborne.

Gisborne, 194

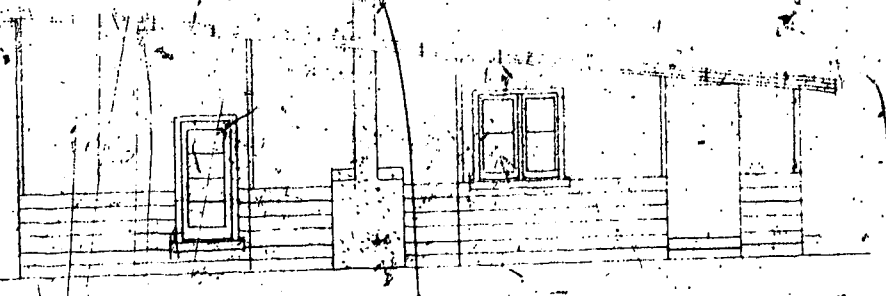
M

Oil bound Distemper to approved shade.
 New interior walls to be papered in papers to be selected.
Electrician.

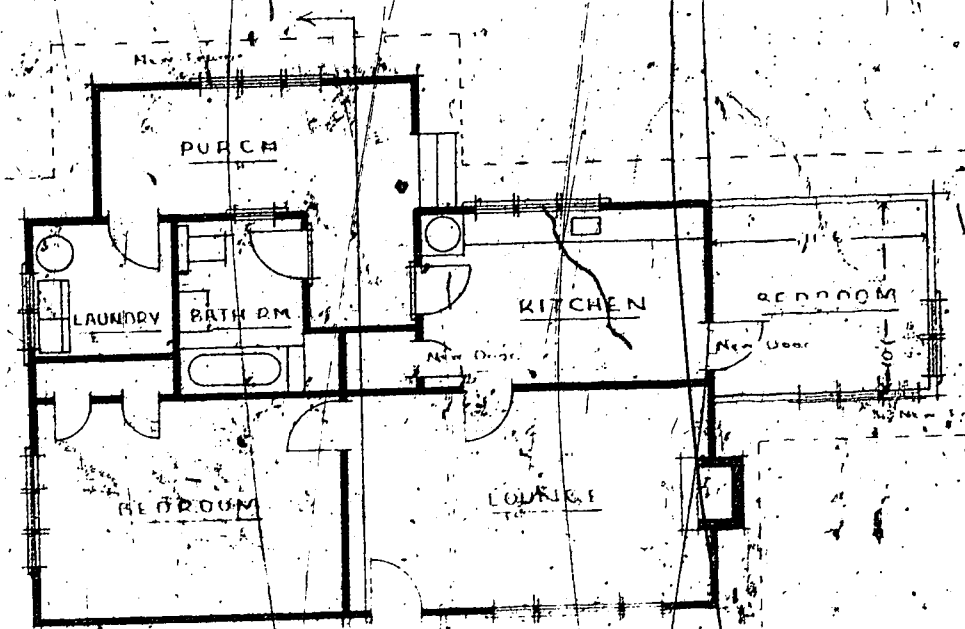
Allow for lighting point in new Bedroom
 and Breakfast room also 11 power point in Breakfast room.
 As where directed.



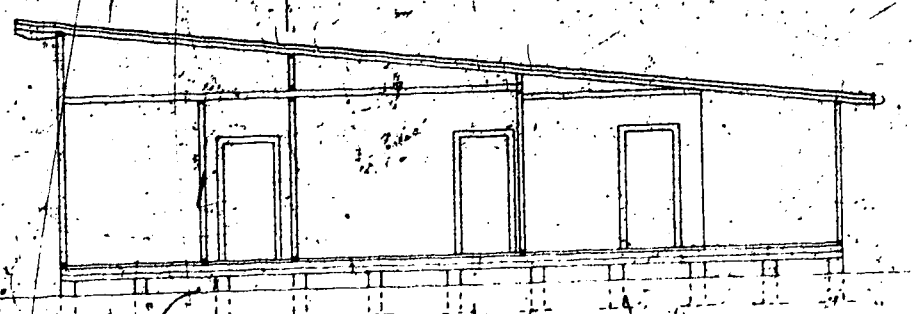
FRONT ELEVATION



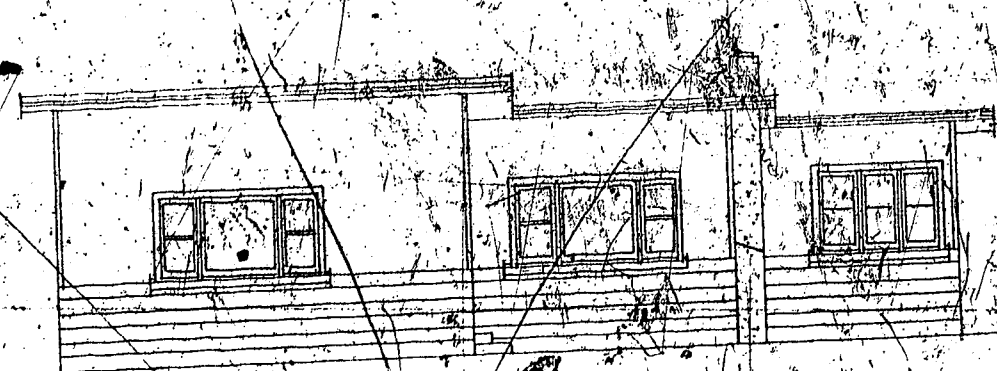
SIDE ELEVATION



PROPOSED EXTENSIONS
HARRIS STREET GISBORNE
FOR W. LITTLEWOOD ESQ.
SCALE 1/8" = 1'-0"



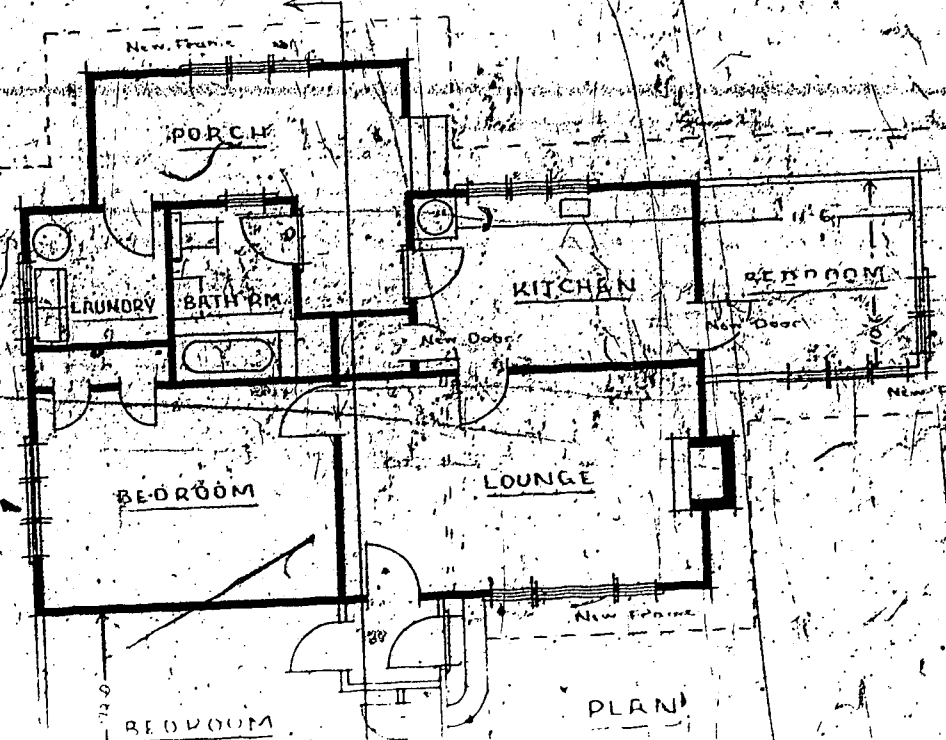
SECTION



FRONT ELEVATION

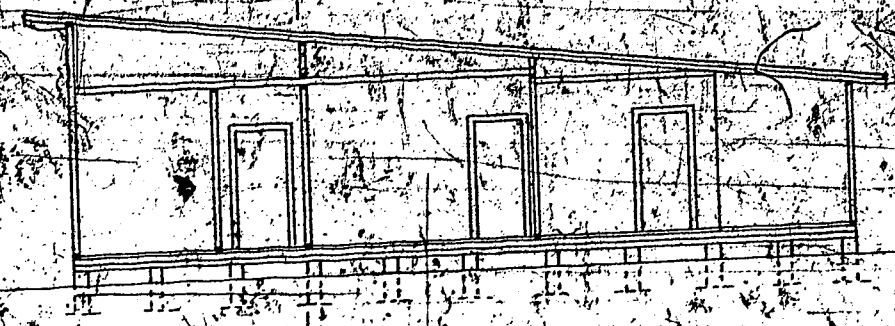


SIDE ELEVATION



PLAN

PROPOSED EXTENSIONS
HARRIS STREET GISBORNE
FOR W. LITTLEWOOD ESQ.
SCALE 1/8" = 1'-0"



SECTION

D. W. LITTLEWOOD

File 8802

4085387

BUILDING APPLICATION FORM

Gisborne

3rd Sept 1965

To THE CITY ENGINEER,
GISBORNE.

I hereby apply for permission to ^{erect} garage at 216 Harris Street for (Owner) 14.5 L. M. A. C. J. of (Town) 470 according to Locality Plan and Detailed Plans, Elevations, Cross sections and Specifications of Building, deposited herewith in duplicate. Section No. 1 D.P. 3634

Length of Boundaries Area

PARTICULARS OF BUILDING: Foundations

Walls Roof

Area of Ground Floor sq. ft. Area of Outbuildings

ESTIMATED COST: Building £1,570 Plumbing & Drainage

Total £1,570

Proposed use or occupancy of other part of building

Nature of ground on which building is to be placed and of the sub-structure

I am, faithfully,

J. H. H. H.
J. H. H. H.

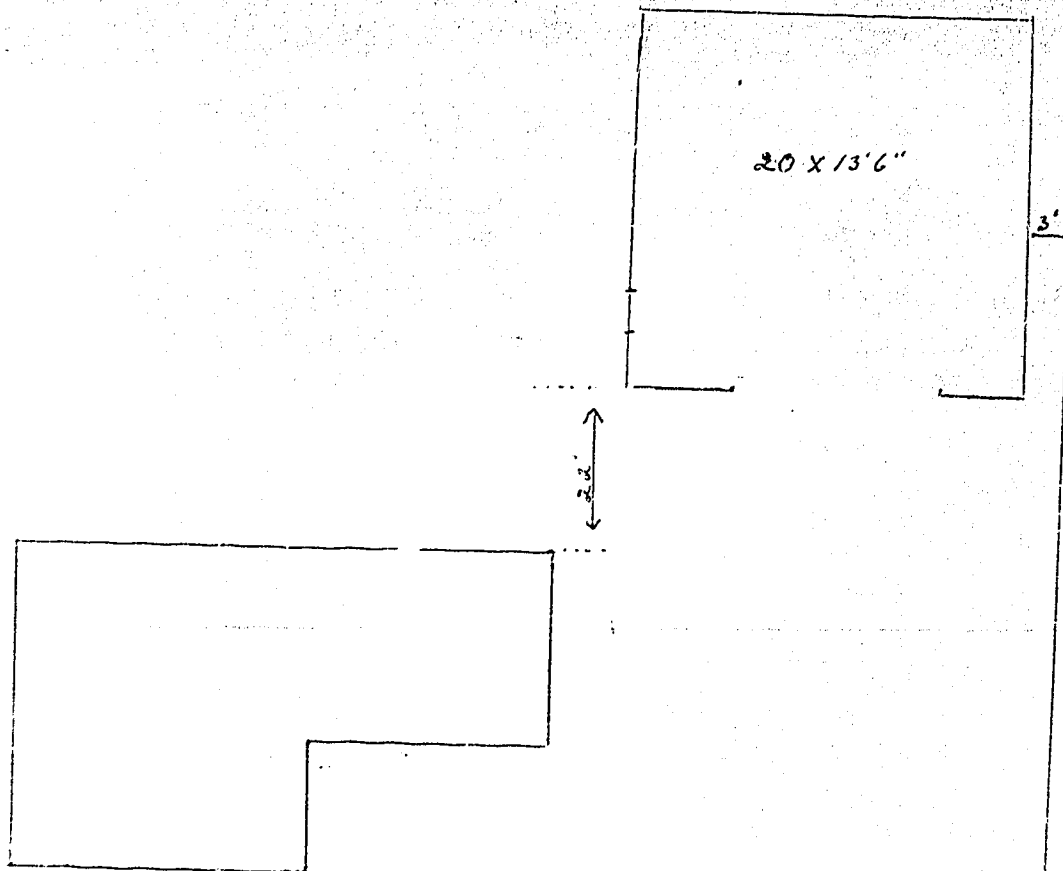
Postal Address 216 Harris St.

Fees payable in respect of above	Building fee	£ 1 : -
	Water Service	£ : :
	Deposit re footpath	£ : :
	TOTAL	£ 1 : -

EXISTING VALUATION

Number on Valuation Roll 844/74
U.I. 2100
U.V. 1550
C.V. 3650

GROUND PLAN. MR. H. LARLEY



216 HARRIS ST

ROAD

City of Gisborne



8/75

The City Engineer
Gisborne City Council.

P O Box 747
Fitzherbert Street
Gisborne.

APPLICATION FOR A BUILDING PERMIT

Sir,

I/We hereby apply for permission to: ERECT CORPSET
according to the site plan, elevations, cross-sections, detailed drawings,
specifications and drainage plan, drawn to scale and deposited herewith in duplicate.

At: 216 Harris St (House number and Street)

NAME OF OWNER: Mr ST Herken PRESENT ADDRESS: 216 Harris St

PARTICULARS OF LAND: Lot 2 DP 5582 Section _____ Block No. _____
Survey District _____ Area _____ Assessment No. 9221/74/1

TYPE OF BUILDING: Corpsit Area of ground floor: 18.8 m²

PURPOSE FOR WHICH BUILDING WILL BE USED: _____

NAME OF BUILDER: D G M Lcod.

ADDRESS OF BUILDER: 20 Daphne St

NAME OF PLUMBER: _____

NAME OF DRAINLAYER: _____

SIGNATURE OF APPLICANT [Signature]

Date _____ Phone No. _____

ESTIMATED VALUE

BUILDING 900.00.

PLUMBING & DRAINAGE

TOTAL \$ 900.00

FOR OFFICE USE ONLY.

CASHIER [Signature] DATE 17/2/76

Building Receipt No. 161575

B.R.A.N.Z. Receipt No. _____

Building Fee 2.00

B.R.A.N.Z. Levy

Footpath Deposit

TOTAL \$ 2.00

Building File No. 8802

Drainage File No. _____

Building Permit No. G93218

Received By: [Signature]

Date: 17/2/76

BUILDING PERMIT PROGRAMME

Rates Clerk [Signature] Date 18/2/76

Bldg. Insp. [Signature] Date 18/2/76

F.S. Officer Date

1 Town Planner [Signature] Date 20/2/76

Health Insp. Date

D.G. Insp. Date

Struc. Eng. Date

P & D Super. Date

2 Bldg. Insp. [Signature] Date 23/2/76

3 Issuing Clerk [Signature] Date 23/2/76

Service Contribution: yes / no PAID

REMARKS

Post permit to owner.

Applicant: Mr. Hanley
Property Owner: 216 Hanley St
Street: 1st A.P.P. 5.5.52

CITY OF GISBORNE DISTRICT SCHEME

BUILDING PERMIT CHECK LIST

B.P. File

Permit No.

NOTE:

Tick means either not applicable or applicable but complies;

Cross means does not comply.

SITE DETAILS, USE AND RESTRICTIONS

Zoning R1 Road Widening _____
Designation _____ Building Line _____
Area 1012 m² / 323 m² Sight Line _____
Frontage rear side Limited Access _____
Historical Object etc. _____ Service Lane _____
Existing Use Dwelling Accessway _____
Proposed Use Car port Which is: Predominant, Conditional
Not Permitted.

Forty foot sheaths checked _____

Conditional Use, Specified Departure, Dispensation - granted on

T.C. File Copy of conditions attached (tick)

BULK AND LOCATION CONTROLS

Front yards (tick if complies) _____ Provision for private garage _____
Side yards ✓ Number residential buildings _____
Rear yards ✓ Area in vegetation _____
Screening _____ Apartment units stepped _____
Building Height _____ Accessway building prov. (R5) _____
Density _____ Architectural Style of garage _____
Site Coverage ✓ Verandah required _____
Vehicle Access _____ Check completed by: _____
Parking _____
Loading _____

REQUIREMENTS / REASONS ...

Complies with the Scheme if the above requirements are observed ...

☐

Does not comply with the Scheme for the above reasons ...

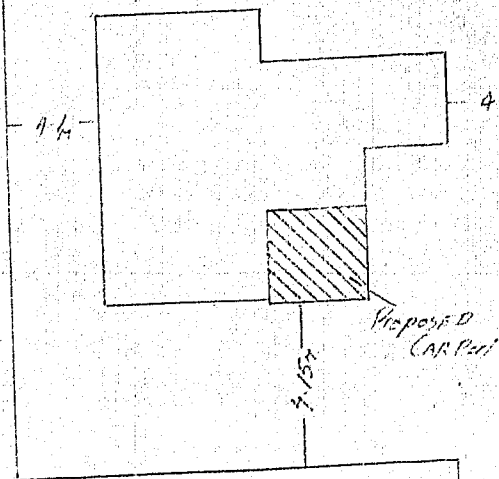
☐

(ATPO or TPO)

signed

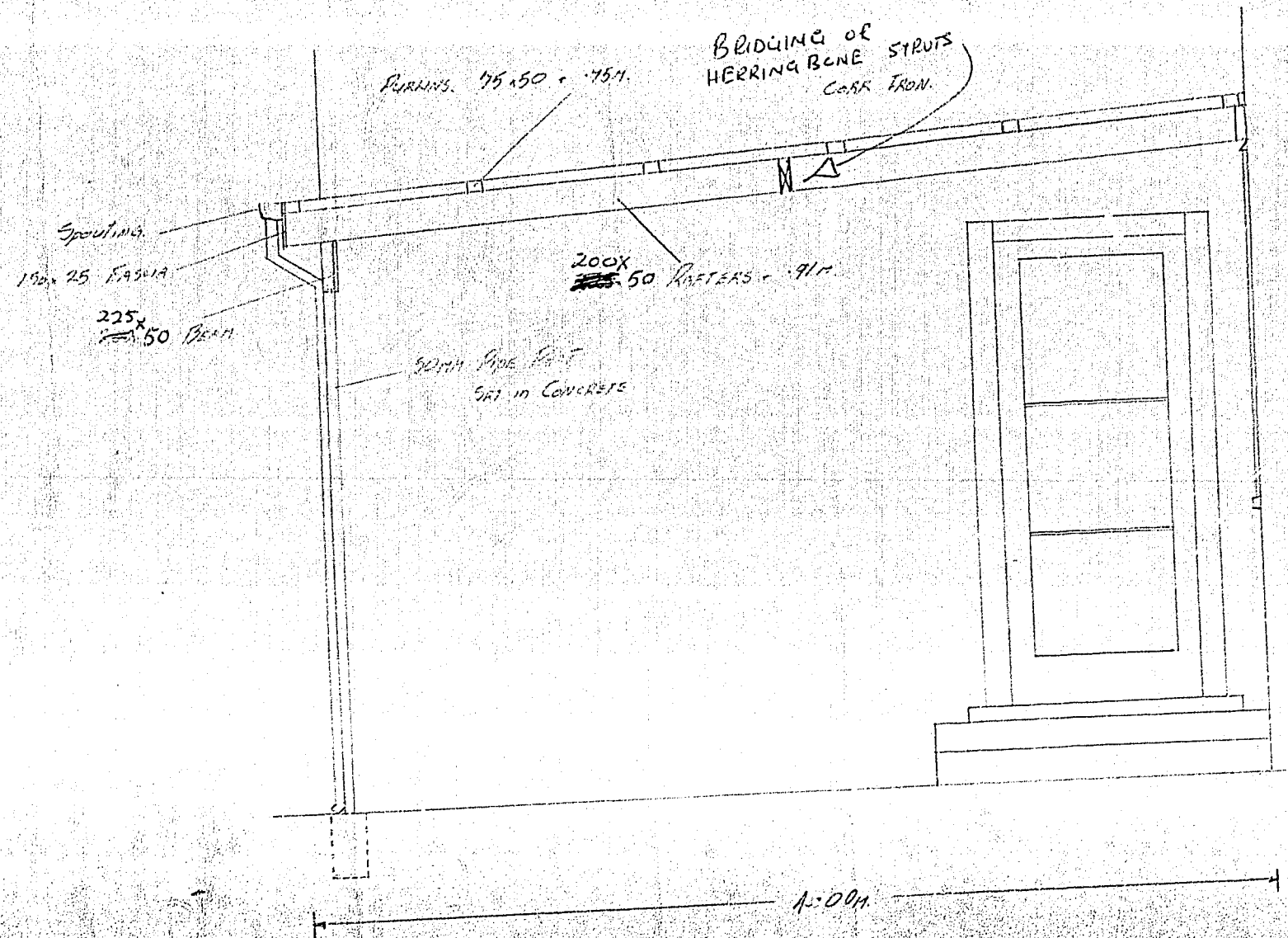
Date

LOT 2 DP5582
216 Hurst St
GILDCOVE

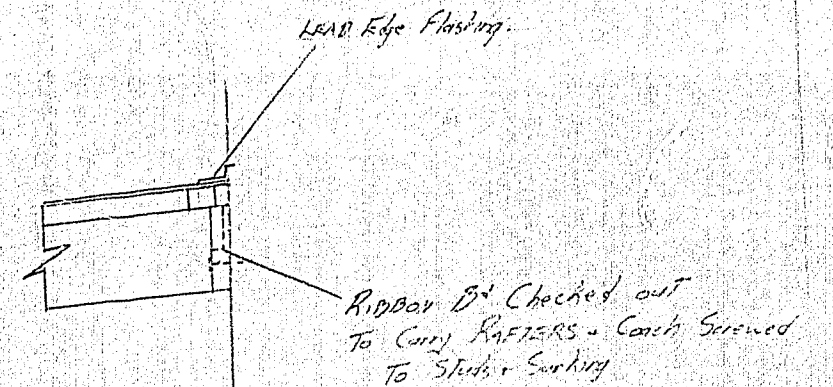


SCALE 1:2.5

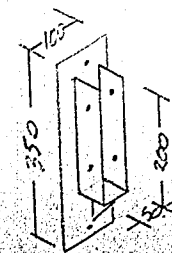
PERMIT NO
G93218



SECTION SCALE 1:20



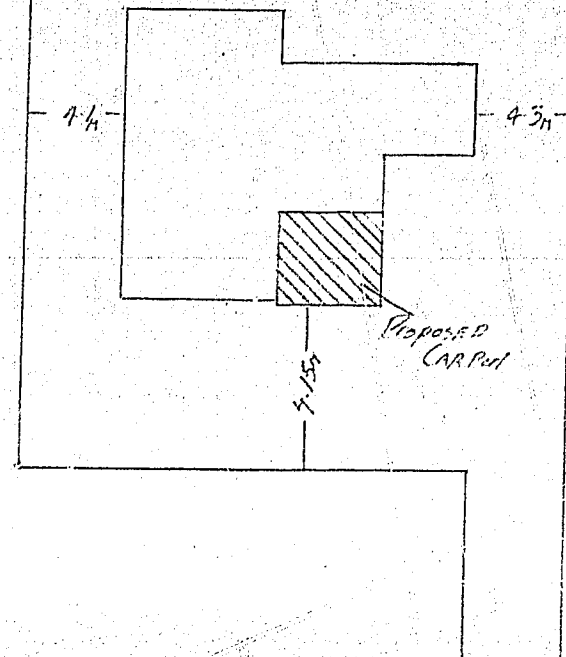
DETAIL OF FIXING C/PORT TO HOUSE



1/4" M.S. SHOE Bolted To Corner Stud To Carry 200x50mm BEAM.

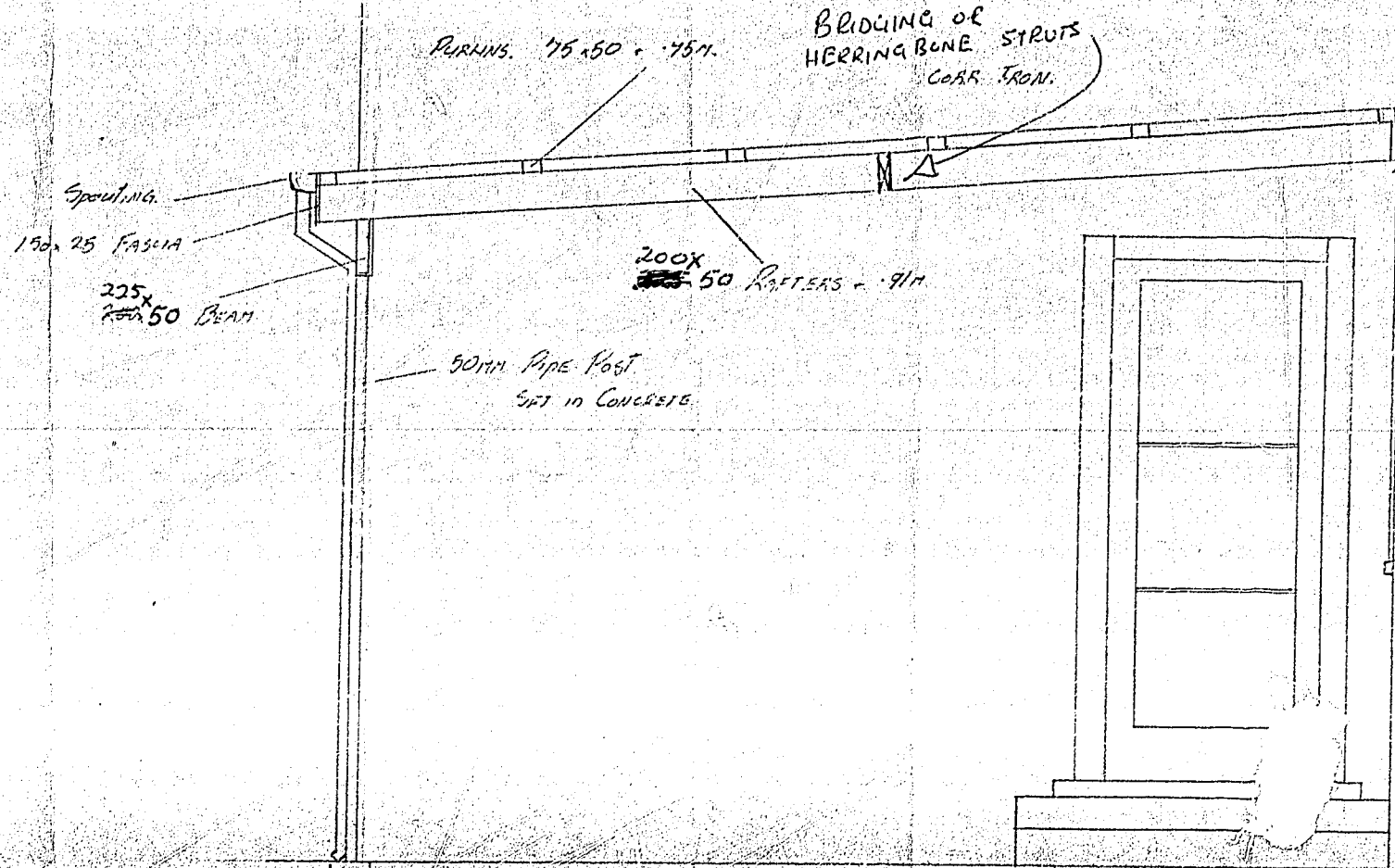
DETAIL OF SHOE

LOT 2 DP5582
216 Harris St
GILBERT

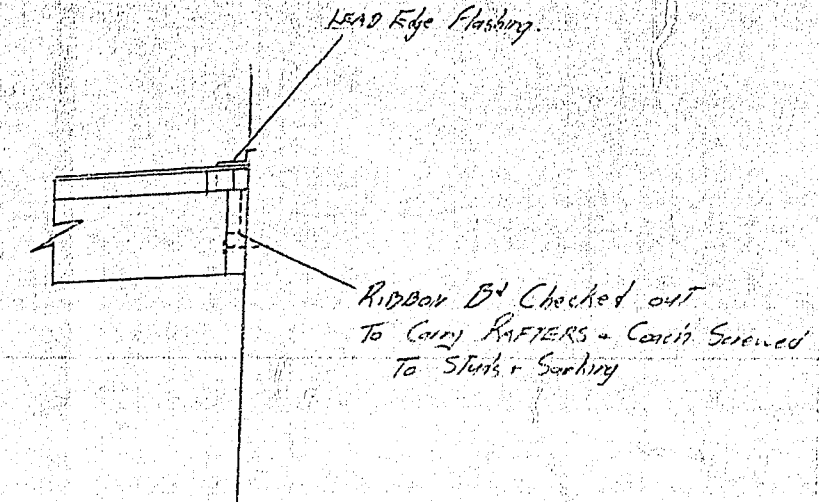


SCALE 1:2.5

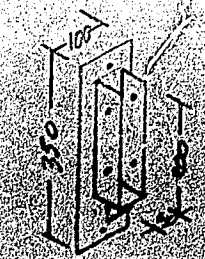
PERMIT NO
693218



SCALE 1:20

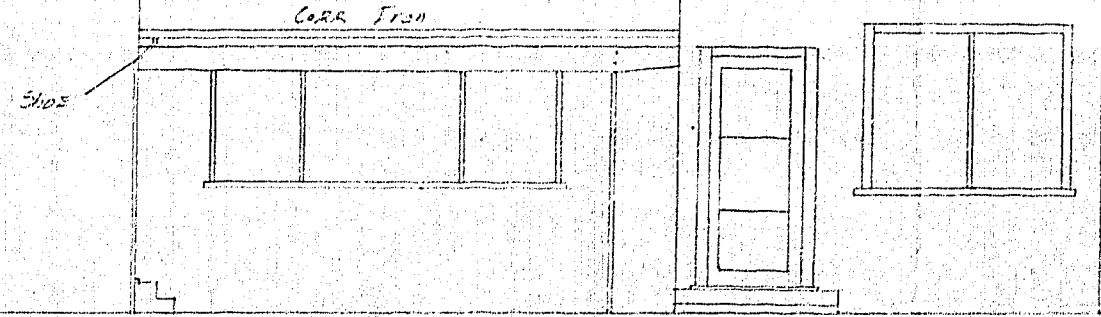


DETAIL OF FIXING. C/PART TO HOUSE



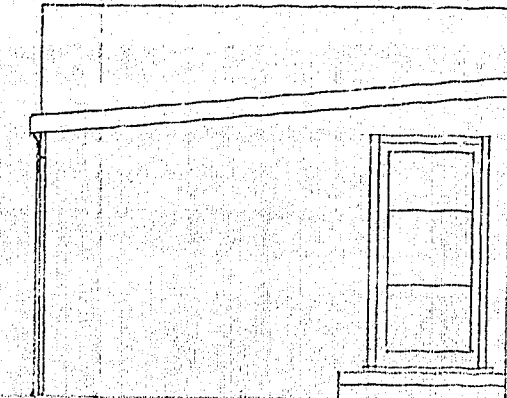
DETAIL OF SHOE

1/2" N.S. SHOE Bolted To
CORIN Stud To Carry
200x50 Beam

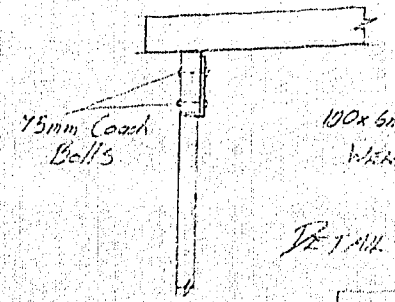


FRONT ELEVATION

SCALE 1:50.



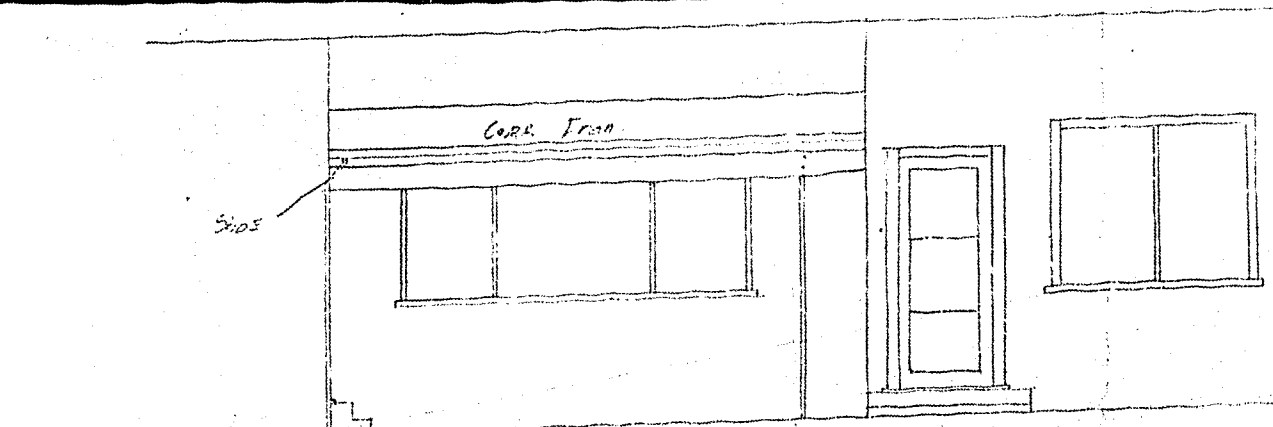
SIDE ELEVATION



DETAIL OF FIXING BEAM TO POST

PROPOSED CAR PORT
for MR S. HAMILTON
216 HARRIS ST

SCALE 1:25, 1:50, 1:20
DRAWN BY D. G. McLEOD.



SIDE

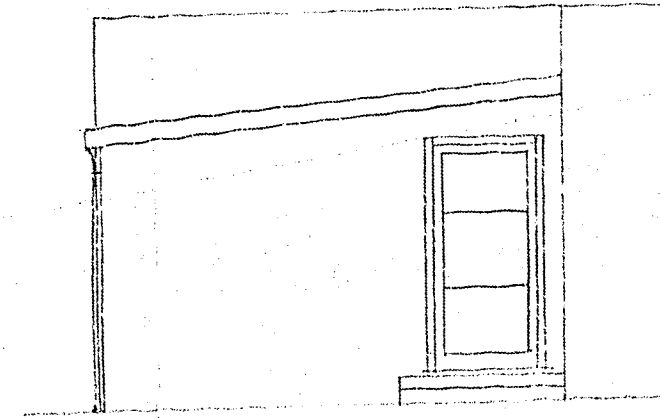
CORR. FRON

4.7m

1.55

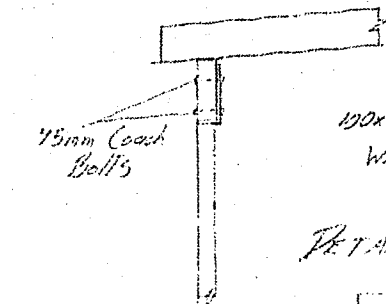
FRONT ELEVATION

SCALE 1:50



4.22m

SIDE ELEVATION



15mm Coach Bolt

100x6mm Bent at 90°

WEDGED TO 50mm PINE

DETAIL OF FIXING BEAM TO POST

PROPOSED CAR PORT
FOR MR S. HANLEN
216 HARRIS ST

SCALES 1:25, 1:50, 1:20

DRAWN BY D.G. M'LEOD

City of Gisborne

The Chief Building Inspector
Gisborne City Council
P.O. Box 747
GISBORNE



B.9
12/87

Telephone 82 049

PLEASE PRINT CLEARLY

Building Inspectors Office APPLICATION FOR A BUILDING PERMIT

Sir,
I/we hereby apply for permission to: NEW ROOF
according to the site plan, elevations, detailed drawings, specifications and drainage plan,
drawn to scale and deposited herewith in duplicate.

AT: 216 A. HARRIS ST (House number and street)

FULL NAME OF OWNER: MR MELLELIEN PRESENT ADDRESS: _____

PARTICULARS OF LAND: Lot 2 DP 5582 Block Number _____
Survey District _____ Area 0.1323 Assessment Number DS440-074-0100

TYPE OF BUILDING: Res Area of Ground Floor _____

PURPOSE FOR WHICH BUILDING WILL BE USED: _____

NAME OF BUILDER: B. C. Duncan

ADDRESS OF BUILDER: P.O. Box 1189

CRAFTSMEN PLUMBER: _____

REGISTERED DRAINLAYER: _____

SIGNATURE OF OWNER OR AUTHORISED AGENT: _____

ESTIMATED VALUE	
BUILDING	<u>5000.00</u>
PLUMBING & DRAINAGE	_____
TOTAL	<u>\$ 5000.00</u>

Date: 8-8-88 Phone No: 84939

FOR OFFICE USE ONLY

CASHIER: B. C. Duncan DATE: 8/8/88
Building Receipt No: 070576
B.R.A.N.Z. Receipt No: _____
BUILDING FEE: \$ 53.50 B2 1685
B.R.A.N.Z. LEVY: \$ _____ M5 0460
Sub Total \$ 53.50
(includes G.S.T.)
FOOTPATH DEPOSIT: \$ _____ M5 0300R
TOTAL FEES: \$ 53.50
Building File No: 8802
Drainage File No: _____
Building Permit No: E068913
Received By: MD Date: 8/8/88

BUILDING PERMIT PROGRAMME		
1	Bldg Insp	Date _____
2	Rates Clerk <u>ADY</u>	Date <u>8/8/88</u>
3	City Planner <u>MD</u>	Date <u>12/8/88</u>
4	P & D Super <u>MD</u>	Date <u>15-8-88</u>
...	Health Insp	Date _____
...	Struct. Eng	Date _____
...	D.G. Insp	Date _____
...	F.S. Officer	Date _____
5	Bldg Insp <u>MD</u>	Date <u>15/8/88</u>
6	Issuing Clerk <u>MD</u>	Date <u>16/8/88</u>

REMARKS

Engineering Calculations

Drainage Plan

Bracing Calculations